



County of Bernalillo Zoning, Building & Planning

111 Union Square St. SE • Suite 100 • Albuquerque, NM 87102
Phone (505) 314-0350 • Fax (505) 314-0480

BERNALILLO COUNTY RESIDENTIAL BUILDING PERMIT REQUIREMENTS

1. PLANS & SPECIFICATIONS

Plans and Specifications shall be prepared on substantial paper and shall be of sufficient clarity to indicate in detail the location, nature and extent of the proposed construction. The Applicant shall provide all information listed below and submit four (4) copies of the plot plan and two (2) copies of all other drawings:

A. PLOT PLAN:

This plan shall provide the owners name, site address, legal description (subdivision, lot and block numbers), Uniform Property Code (UPC), distance from property lines and any existing structures to proposed construction, location of water supply and liquid waste disposal.

B. FOUNDATION PLAN:

Show the location, size, dimensions and depth below grade of all footings, piers, stem walls and retaining walls. Provide a footing section detail with dimensions of footing width depth below grade, size and spacing of reinforcement steel.

C. FLOOR PLAN:

Show all rooms and label use. Indicate all door and window sizes and types. Show the location of all smoke detectors; they shall be hard wired with battery backup, inside and outside each bedroom. Show separation at garage to residence.

D. FLOOR AND ROOF FRAMING PLAN:

Show the size, spacing and spans of all structural members (joists, girders, rafters, headers, beams and/or vigas). Indicate the lumber grade and species of all wood structural members. Provide job specific engineered truss details, and key to the framing plan. Show attachment of beams, columns and ledgers.

E. ELEVATIONS:

Provide four (4) exterior elevations of proposed construction, show windows, doors, porches, columns, roof top height, finish floor elevation and finish grade elevations.

F. WALL SECTION:

Show wall sections for typical interior and exterior construction, indicating depth of footing below grade, finish grade, concrete steel reinforcement, footing dimensions, perimeter insulation (2"x24" or R-10 Min.), anchoring method (1/2" dia. X 10" anchor bolts at 4'-0" o.c. and 12" from end of each plate), floor to ceiling dimensions, wall construction, exterior finish, lath gauge, roof decking material, roof materials and roof slope.

G. STAIRS:

Show step rise, run, width, height of handrails, size of handrails, spacing of intermediate rails, size of handgrip portion of the handrail and the headroom above stairs.

H. SPECIAL DETAILS:

Show detail of masonry fireplace construction with clearance to combustible materials (at walls and ceiling), steel reinforcement, hearth width and extension, and firebox opening (see fireplace detail example). Retaining walls exceeding four (4) feet in height are required to be designed by a registered professional.

I. ADDITIONS & ALTERATIONS:

Include size and construction of existing building window & door sizes and types in existing room(s) adjacent to the addition.

2. ENVIRONMENTAL HEALTH REQUIREMENTS

A. LIQUID WASTE DISPOSAL:

In areas where city sewer services are not available, the Applicant must obtain a liquid waste disposal permit from the Bernalillo County Environmental Health Department (EHD). This includes both conventional and alternative systems. Certain areas within Bernalillo County, particularly the valley and mountain areas may require an engineered design, due to extreme site conditions. EHD may require up to ten (10) days to review liquid waste permit applications.

B. WATER SUPPLY:

In areas where the city of Albuquerque water services or a Community water supply is not available the applications may be obtained from the Environmental Health Department.

3. FLOODPLAIN REQUIREMENTS

Properties located within the 100-year floodplains indicated on the Flood Insurance Rate Maps, are required to meet minimum finish floor elevations. Those properties located near an arroyo or watercourse will require a grading and drainage plan. These plans will be subject to the review and approval of the Bernalillo County Floodplain Administrator.

4. PUBLIC WORKS REQUIREMENTS

A. ACCESS AND PAVING PERMITS:

Access permits may be required before the issuance of the Certificate of Occupancy. The Public Works Hydrologist will review the plans for access and paving requirements

B. GRADING AND DRAINAGE PLANS:

These plans must be submitted for construction of single family dwellings in North Albuquerque Acres and Sandia Heights and may be required for other residential construction over 500 square feet.

C. WATER CONSERVATION REQUIREMENTS:

A water conservation form indicating which water conservation options will be included in the construction of the building or any addition with plumbing must be submitted before a building permit is issued. Inspections of the chosen options may be required before issuance of the certificate of occupancy.

5. ZONING REQUIREMENTS

A. A permit is required before erecting, constructing, reconstructing, altering or changing the use of any building or structure within any portion of the unincorporated are of Bernalillo County.

B. Land uses are regulated by the requirements of the zone in which the property is located. Any use not designated a permissive or conditional use in the zone is specifically prohibited from that zone.

6. IMPACT FEES

An Impact Fee is imposed on any new construction on vacant land and additions over 500 square feet. The fees are collected by the Bernalillo County Zoning Building & Planning Department.

7. PLAN CORRECTIONS & AUTHORIZATION

Corrections on Architect or Engineer (A/E) certified plans shall be made only by the individual or his agent, having written authorization from the A/E. Authorization is required in written form whenever the plans are to be submitted or picked up by anyone other that the owner, contractor, architect or engineer.

8. AGENCY ADDRESSES & OFFICE HOURS

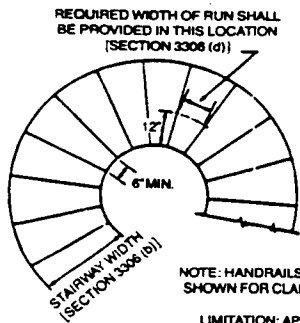
Bernalillo County Zoning, Building & Planning
111 Union Square St. SE Ste 100
Albuquerque New Mexico 87102
Phone: 314-0350

Bernalillo County Environmental Health
111 Union Square St. SE Ste 300
Albuquerque New Mexico 87105
Phone: 314-0310

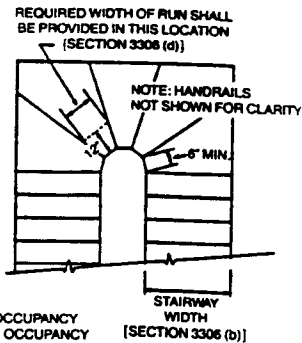
Bernalillo County Public Works Department
2400 Broadway SE
Albuquerque New Mexico 87102
Phone: 848-1500

Bernalillo County Floodplain Administrator
2400 Broadway SE
Albuquerque New Mexico 87102
Phone: 848-1514

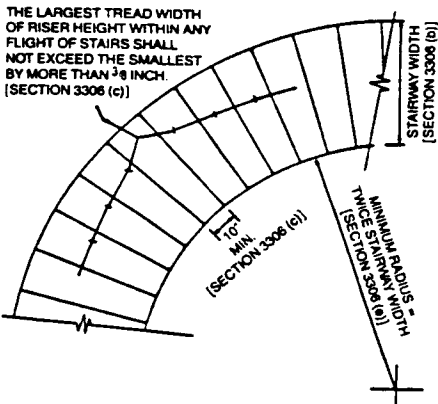
READ AND STUDY CAREFULLY PRIOR TO CONSTRUCTION OF STAIRS



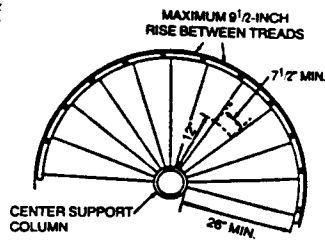
PLAN VIEW
WINDING STAIRWAY



PLAN VIEW
ALTERNATE USE OF WINDERS



PLAN VIEW
CIRCULAR STAIRWAY

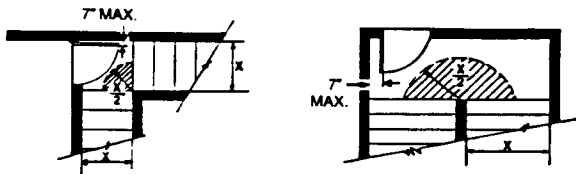
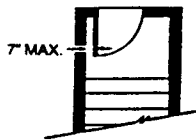
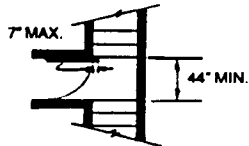


PLAN VIEW
SPIRAL STAIRWAY

- LIMITATIONS: 1. LIMITED TO SERVING AS EXIT FOR 400 SQUARE FEET MAXIMUM
2. APPLIES TO R-3 OCCUPANCY AND PRIVATE STAIRWAYS IN R-1 OCCUPANCY

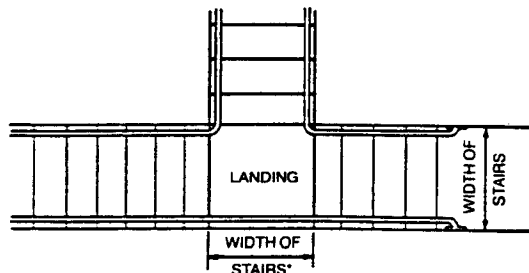
WINDING STAIRS

ANY OCCUPANT LOAD



WHEN X = THE REQUIRED WIDTH
LANDINGS SERVING OCCUPANT LOAD OF 50 OR MORE

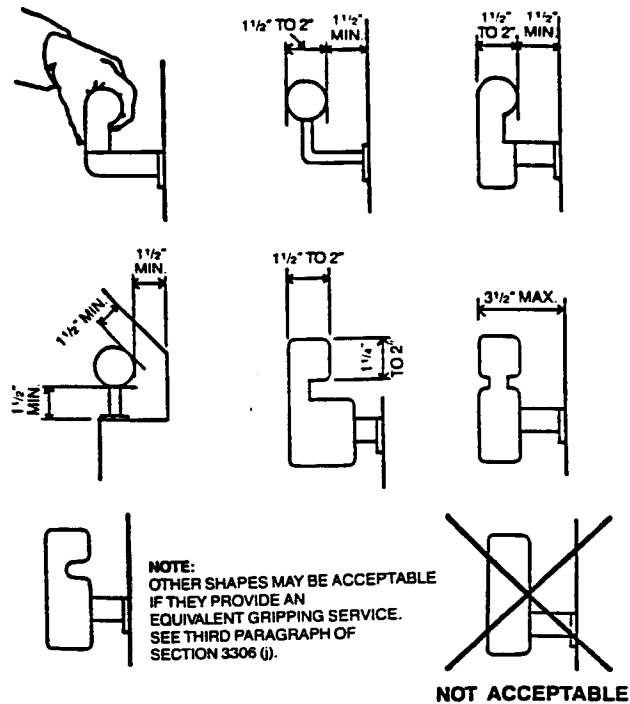
DOORS AT LANDINGS



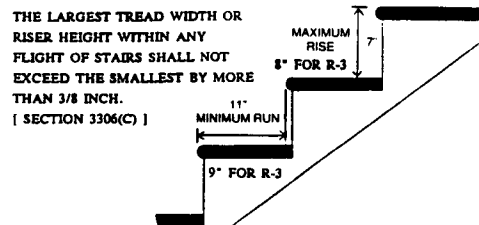
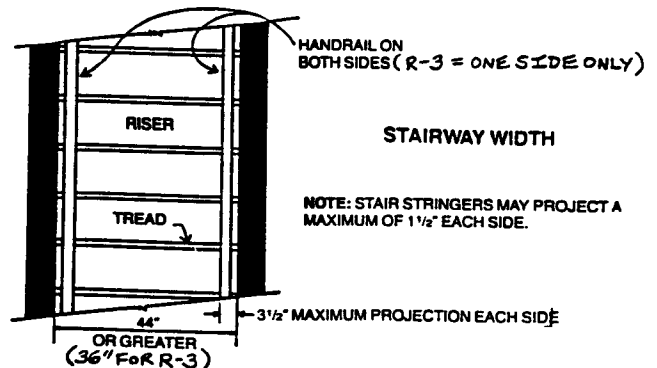
WIDTH OF STAIRS = (1) 36" FOR OCCUPANT LOAD LESS THAN 50
= (2) 44" MINIMUM FOR OCCUPANT LOADS OF 50 OR MORE

*NEED NOT EXCEED 44" IF LANDING OCCURS IN A STRAIGHT RUN OF STAIRS.

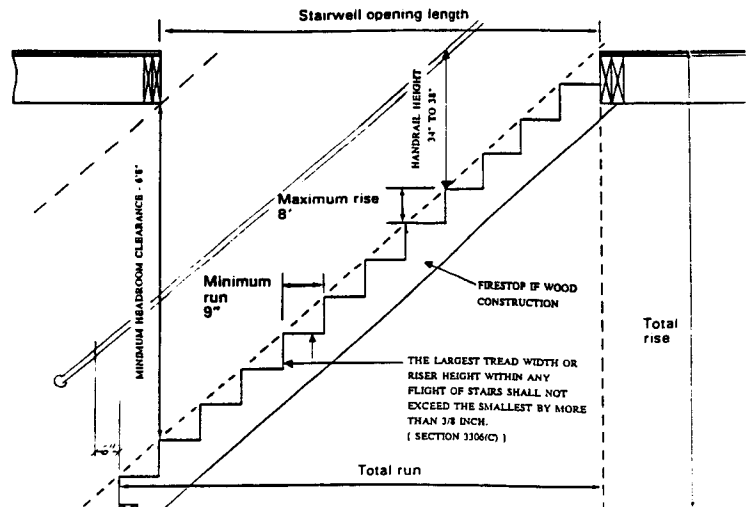
LANDING DIMENSIONS

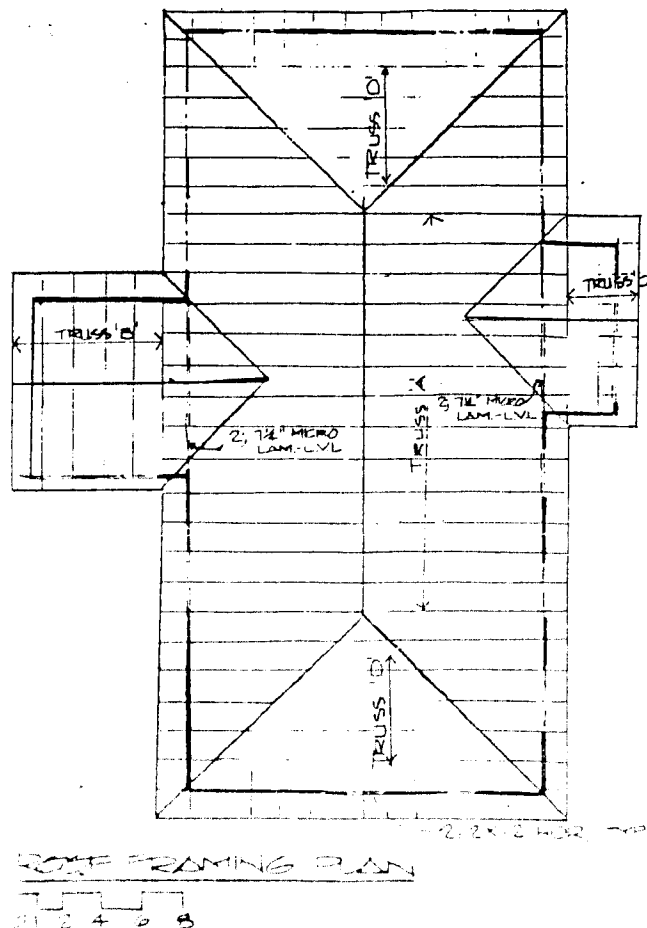
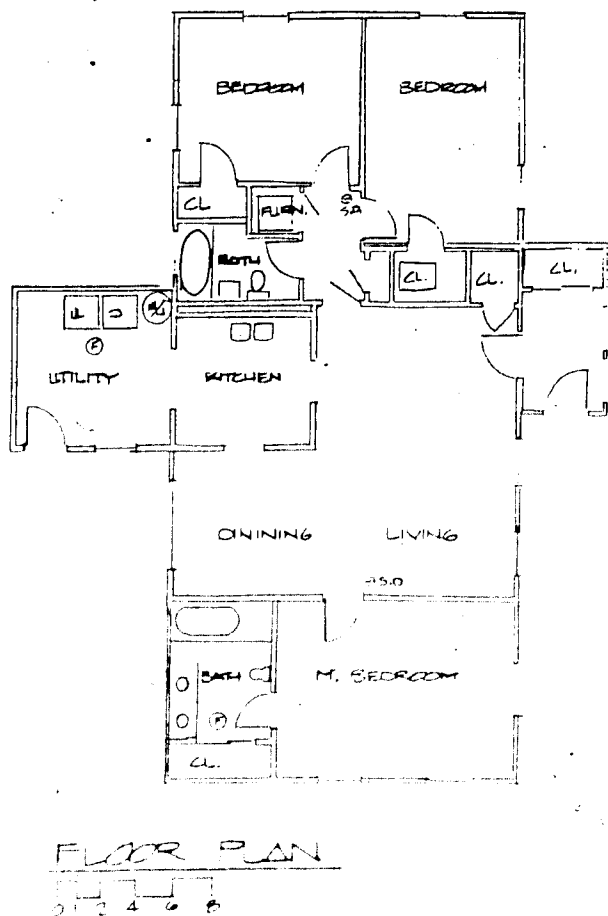
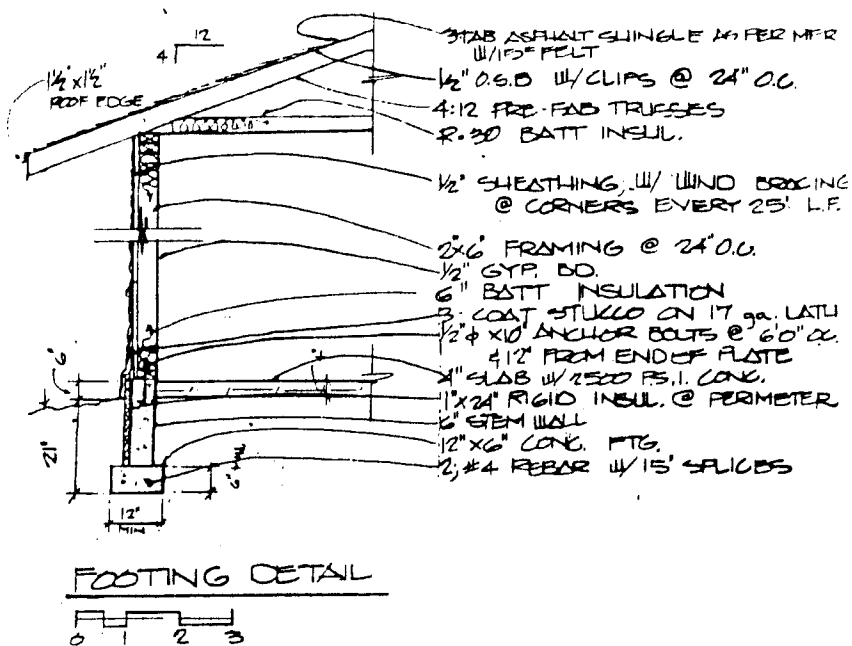
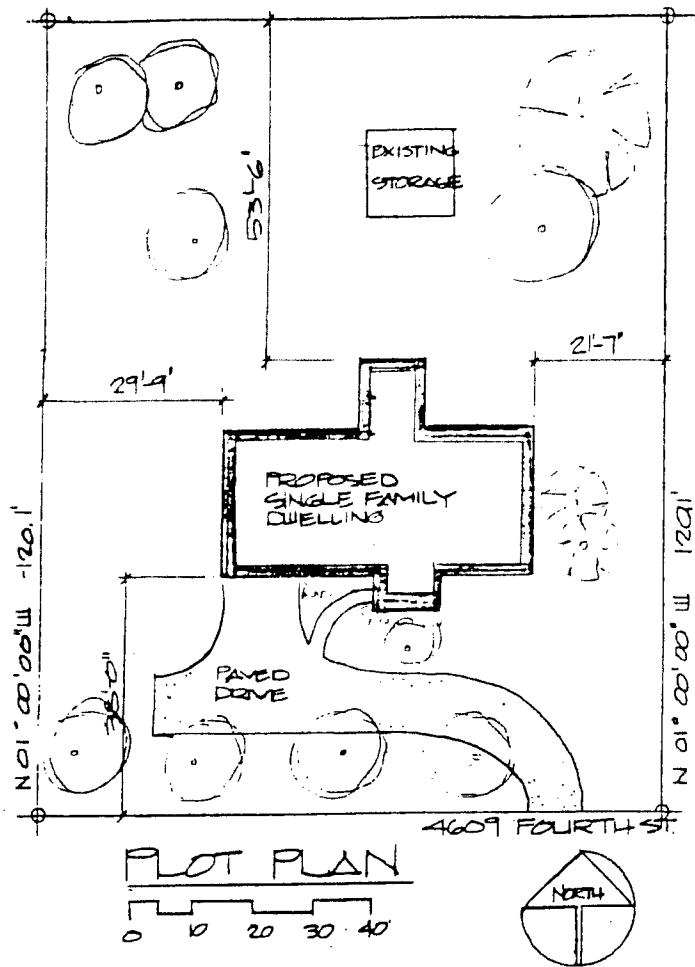


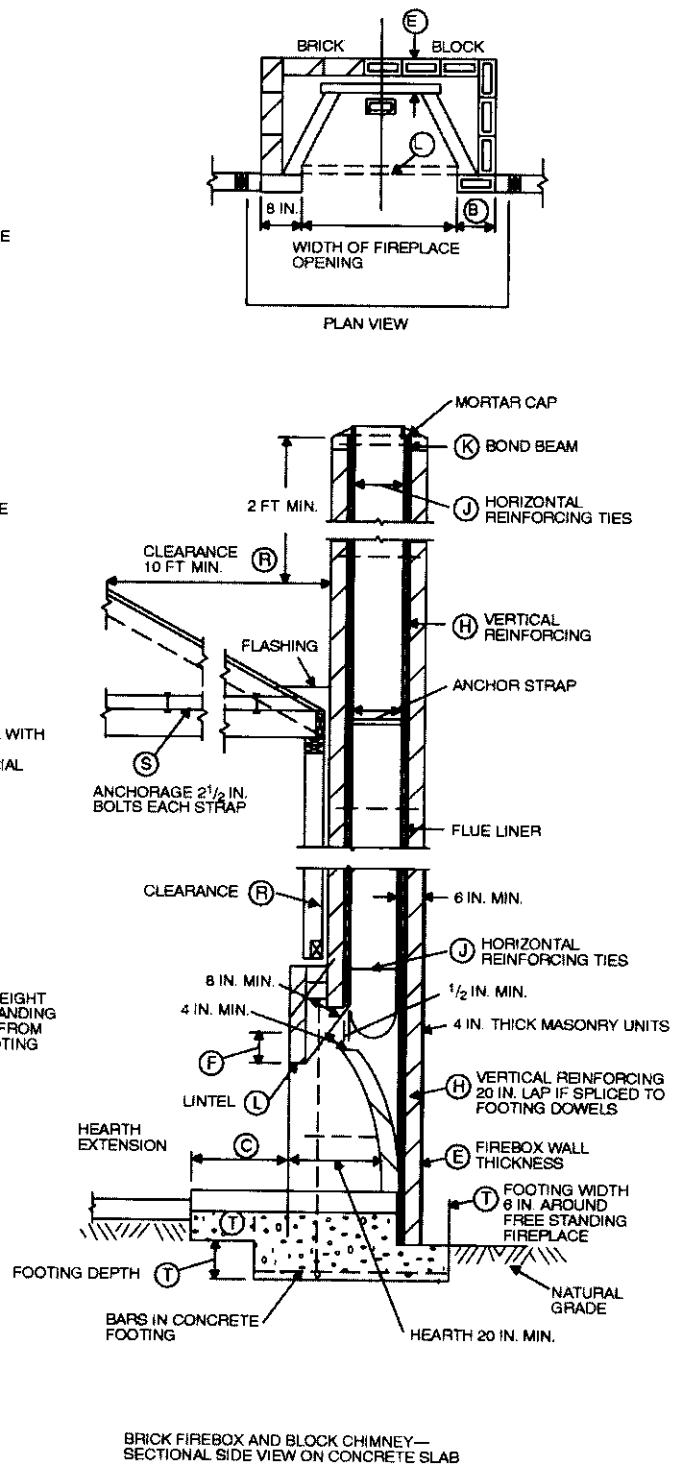
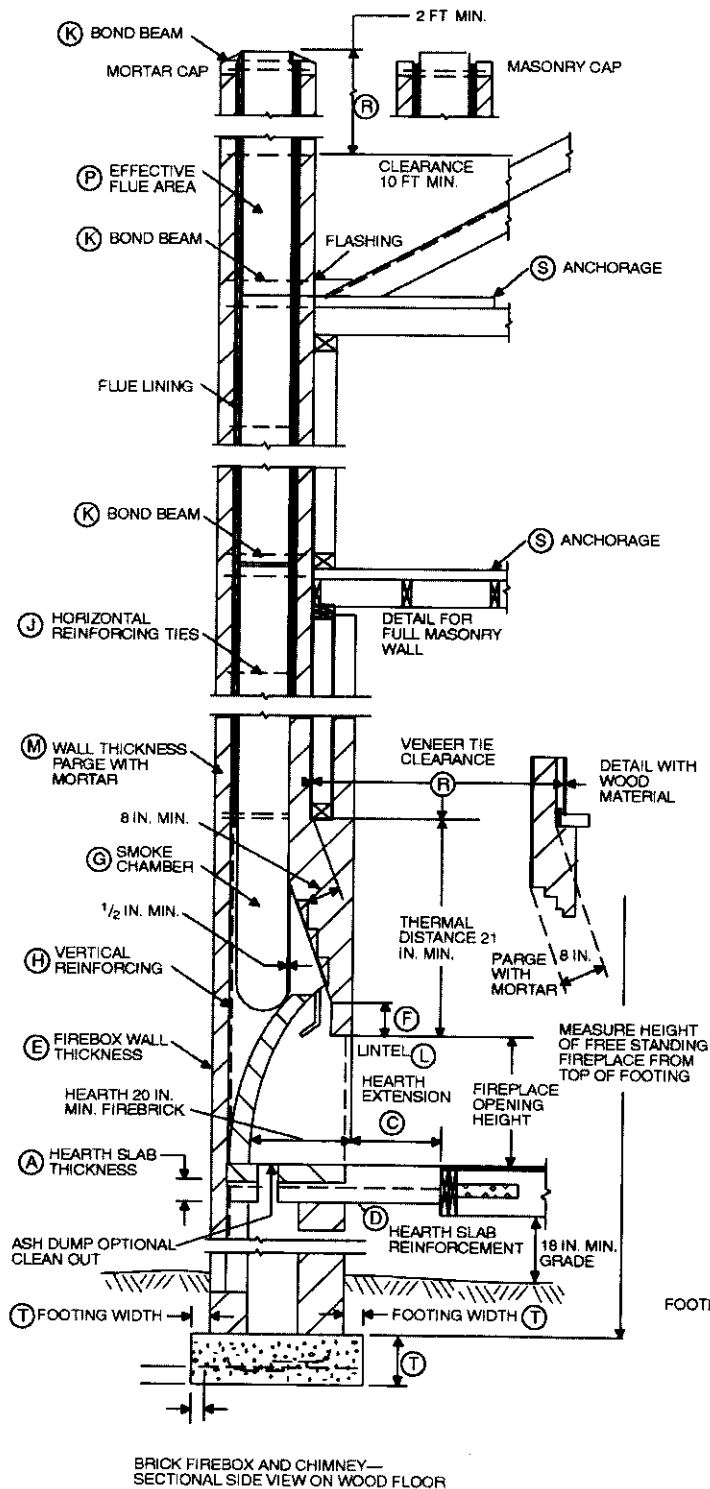
ACCEPTABLE SHAPES AND INSTALLATIONS—HANDRAIL



RISE AND RUN







For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R1001.1
FIREPLACE AND CHIMNEY DETAILS

TABLE R1001.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS

ITEM	LETTER ^a	REQUIREMENTS
Hearth slab thickness	A	4"
Hearth extension (each side of opening)	B	8" fireplace opening < 6 square foot. 12" fireplace opening ≥ 6 square foot.
Hearth extension (front of opening)	C	16" fireplace opening < 6 square foot. 20" fireplace opening ≥ 6 square foot.
Hearth slab reinforcing	D	Reinforced to carry its own weight and all imposed loads.
Thickness of wall of firebox	E	10" solid brick or 8" where a firebrick lining is used. Joints in firebrick 1/4" maximum.
Distance from top of opening to throat	F	8"
Smoke chamber wall thickness Unlined walls	G	6" 8"
Chimney Vertical reinforcing ^b	H	Four No. 4 full-length bars for chimney up to 40" wide. Add two No. 4 bars for each additional 40" or fraction of width or each additional flue.
Horizontal reinforcing	J	1/4" ties at 18" and two ties at each bend in vertical steel.
Bond beams	K	No specified requirements.
Fireplace lintel	L	Noncombustible material.
Chimney walls with flue lining	M	Solid masonry units or hollow masonry units grouted solid with at least 4 inch nominal thickness.
Distances between adjacent flues	—	See Section R1003.13.
Effective flue area (based on area of fireplace opening)	P	See Section R1003.15.
Clearances: Combustible material Mantel and trim Above roof	R	See Sections R1001.11 and R1003.18. See Section R1001.11, Exception 4. 3' at roofline and 2' at 10'.
Anchorage ^b Strap Number Embedment into chimney Fasten to Bolts	S	3/16" × 1" Two 12" hooked around outer bar with 6" extension. 4 joists Two 1/2" diameter.
Footing Thickness Width	T	12" min. 6" each side of fireplace wall.

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m².

Note: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure R1001.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

a. The letters refer to Figure R1001.1.

b. Not required in Seismic Design Category A, B or C.